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## Welcome



### 28 Amanita Avenue, Harrisdale

Well Presented Family Home in  
Convenient Location

**Offers from**  
**\$799,000**

4  2  2 

This recently built quality 4-bedroom, 2-bathroom home is conveniently located just metres from Warton Road, making for an easy daily commute. Start your day stress free in the beautiful master suite, with the comfort of carpet underfoot, and the warmth of the morning sun streaming through the window wall. Enjoy the luxury of the master ensuite, including large stone look tiles, a spacious vanity, and generous shower recess. Finished with a walk-in wardrobe, this master bedroom provides a retreat for parents.

Before retiring to bed in the evenings, enjoy a movie or your favourite show in the separate theatre room. With double door entry, you can shut this room off from the noise of the house and have your own home cinema experience! For more casual lounge time with the family, enjoy the open plan living and dining areas. With tiled flooring for ease of maintenance and a cool neutral colour palette, this space is modern and versatile. Adding some textural interest to the space is the stunning soft closing cabinetry in the kitchen. With both under bench and overhead cabinetry, as well as a built-in pantry, you won't be short on storage in this kitchen! The microwave recess is cleverly hidden in the island bench, which also provides a breakfast bar for casual dining, or to make mealtimes more social.

The convenience of this home continues with the laundry area offering ample bench space with a tiled splashback and under bench cabinetry for storage, as well as direct access to the backyard. The secondary bedrooms are all fitted with carpet flooring, and well-appointed built-in wardrobes, while the common bathroom offers contemporary luxury for the kids and guests. With beautiful stone look tiles, a built-in bath, and large shower recess with a built-in shelf, this is yet another stylish wet area in the home. As well as style and convenience, the design of this home offers comfort, with ducted reverse cycle air-conditioning throughout for year-round temperature control. In the warmer weather, make the most of the low maintenance outdoor

alfresco area for dinners in the balmy evenings, or for your morning coffee in the sun. This home is finished with further storage solutions with the linen storage cupboard, and the double garage.

Walk to your local caf<sup>☒</sup> for a coffee and stop off at the Sensory Park at the end of your street on the way home. With medical centres, shopping centres, a golf club and the Brooklands Tavern all less than 2km from home, this location offers a convenient family lifestyle, while the home itself offers comfortable and practical living.

#### SCHOOL CATCHMENT

North Harrisdale Primary School (1.6km)

Harrisdale Senior High School (2.9km)

#### RATES

Council: \$

Water: \$1163 approx.

#### FEATURES

- \* Built Year: 2020 Circa
- \* Total Built Area: 193.621 Sqm
- \* 4 Bedrooms
- \* 2 Bathrooms
- \* Open Plan Living
- \* Tiled Flooring in Living Area
- \* Theatre Room
- \* LED Downlights
- \* Ducted Reverse Cycle Air Conditioning
- \* Kitchen Island with Breakfast Bar
- \* Built-in Pantry
- \* Soft Closing Cabinetry
- \* Overhead Cabinetry with Undermounted Rangehood
- \* Oven (Omega)
- \* Gas Burner Stove Top (Omega)
- \* Laundry Area with Access to the Backyard
- \* Master Bedroom with Walk-In Wardrobe
- \* Master Ensuite with Single Vanity
- \* All Secondary Bedrooms with Built-in Wardrobes
- \* All Secondary Bedrooms with Carpet Flooring
- \* Generous Sized Common Bathroom
- \* Linen Storage Cupboard
- \* Alfresco Area
- \* Double Garage
- \* Paved Driveway

#### LIFESTYLE

180m <sup>☒</sup> Harrisdale Green Sensory Park

450m 📍 Polaris Way Reserve  
500m 📍 Greenlink Park  
900m 📍 Tribeca & Co Cafe  
950m 📍 Southern River Family Practice  
950m 📍 Centuria Southern River Shopping Centre  
1.0km 📍 The Village Harrisdale Shopping Centre  
1.3km 📍 Carey Baptist College Harrisdale  
1.3km 📍 Timber Cafe  
1.5km 📍 Gosnells Golf Club  
1.9km 📍 Brooklands Tavern  
2.0km 📍 The Vale Shopping Centre  
9.0km 📍 Champion Lakes  
9.4km 📍 Murdoch Train Station  
9.9km 📍 St John of God Hospital Murdoch  
10.3km 📍 Murdoch University





# Floor Plan



BUILDING AREA	
HOUSE	145.216 m <sup>2</sup>
GARAGE	33.240 m <sup>2</sup>
ALFRESCO	12.210 m <sup>2</sup>
PORTICO	2.955 m <sup>2</sup>
<b>TOTAL</b>	<b>193.621 m<sup>2</sup></b>

**FLOOR PLAN**

This floor plan including furniture, fixture measurements and dimensions are approximate and for illustrative purposes only.  
BoxBrownie.com gives no guarantee, warranty or representation as to the accuracy and layout.  
All enquiries must be directed to the agent, vendor or party representing this floor plan.

**28 Amanita Avenue, Harrisdale**



## Comparable Sales



### 67 FLAMETREE BOULEVARD, HARRISDALE, WA 6112, HARRISDALE

4 Bed | 2 Bath | 2 Car  
\$832,000  
Sold ons: 14/08/2024  
Days on Market: 24

Land size: 378



### 5 MEKA WAY, HARRISDALE, WA 6112, HARRISDALE

4 Bed | 2 Bath | 2 Car  
\$873,000  
Sold ons: 28/08/2024  
Days on Market: 69

Land size: 376



### 15 DOVEDALE STREET, HARRISDALE, WA 6112, HARRISDALE

4 Bed | 2 Bath | 2 Car  
\$900,000  
Sold ons: 14/11/2024  
Days on Market: 36



### 74 DOVEDALE STREET, HARRISDALE, WA 6112, HARRISDALE

4 Bed | 2 Bath | 2 Car  
\$850,000  
Sold ons: 27/10/2024  
Days on Market: 19

Land size: 376



### 24 GOLDFINCH BEND, HARRISDALE, WA 6112, HARRISDALE

4 Bed | 2 Bath | 2 Car  
\$870,000  
Sold ons: 11/06/2024  
Days on Market: 30

Land size: 435

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## Offer Documents

[Click to Download the Offer Pack](#)

[Click to Download the Multiple Offers Form](#)

## Certificate of Title

[Click to Download the Certificate of Title](#)

[Click to Download the Deposited Plan](#)

[Click to Download the Covenant](#)

[Click to Download the Memorial - FHO](#)

[Click to Download the Memorial - Taxation Administration](#)

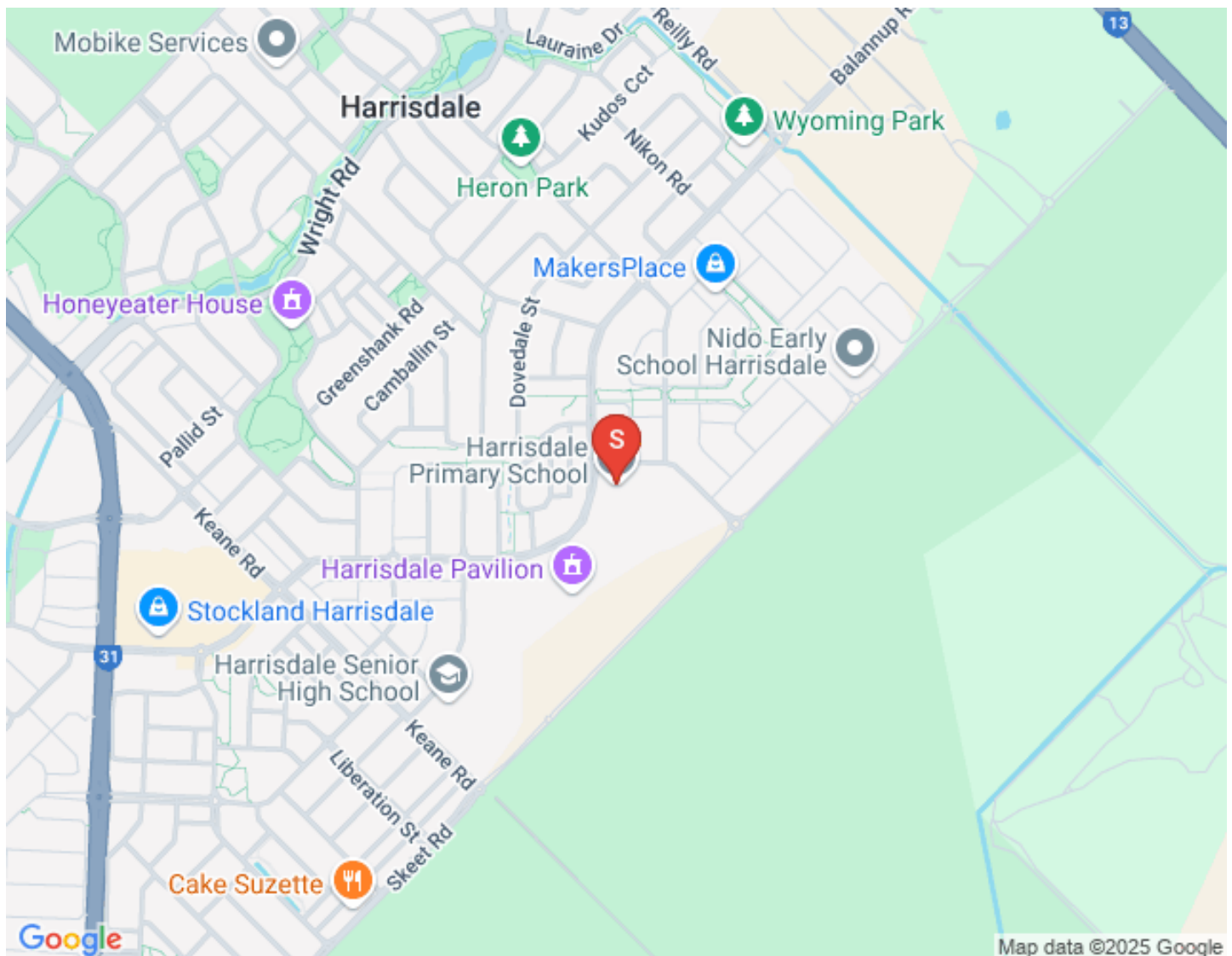
[Click to Download the Notification](#)

[Click to Download the Notification under section 70A](#)

## Local Schools



[Click Here to View INTAKE AREA](#)







**HARRISDALE**  
Senior High School

[Click Here to View Harrisdale Senior High School](#)

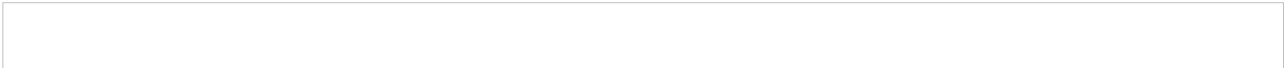


## Harrisdale

### Northerly Park



### Stockland Harrisdale Shopping Centre



### Mason Green Park





**Harrisdale Park & Pavillion**





## Greenlink Park



## Wyoming Park



## Harrisdale Youth Park





**Harrisdale Sensory Park**



**Coles Southern River**







## Joint Form of General Conditions

## 2022 General Conditions

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# JOINT FORM OF GENERAL CONDITIONS FOR THE SALE OF LAND

[View Joint Form Here](#)



**first  
national**  
REAL ESTATE

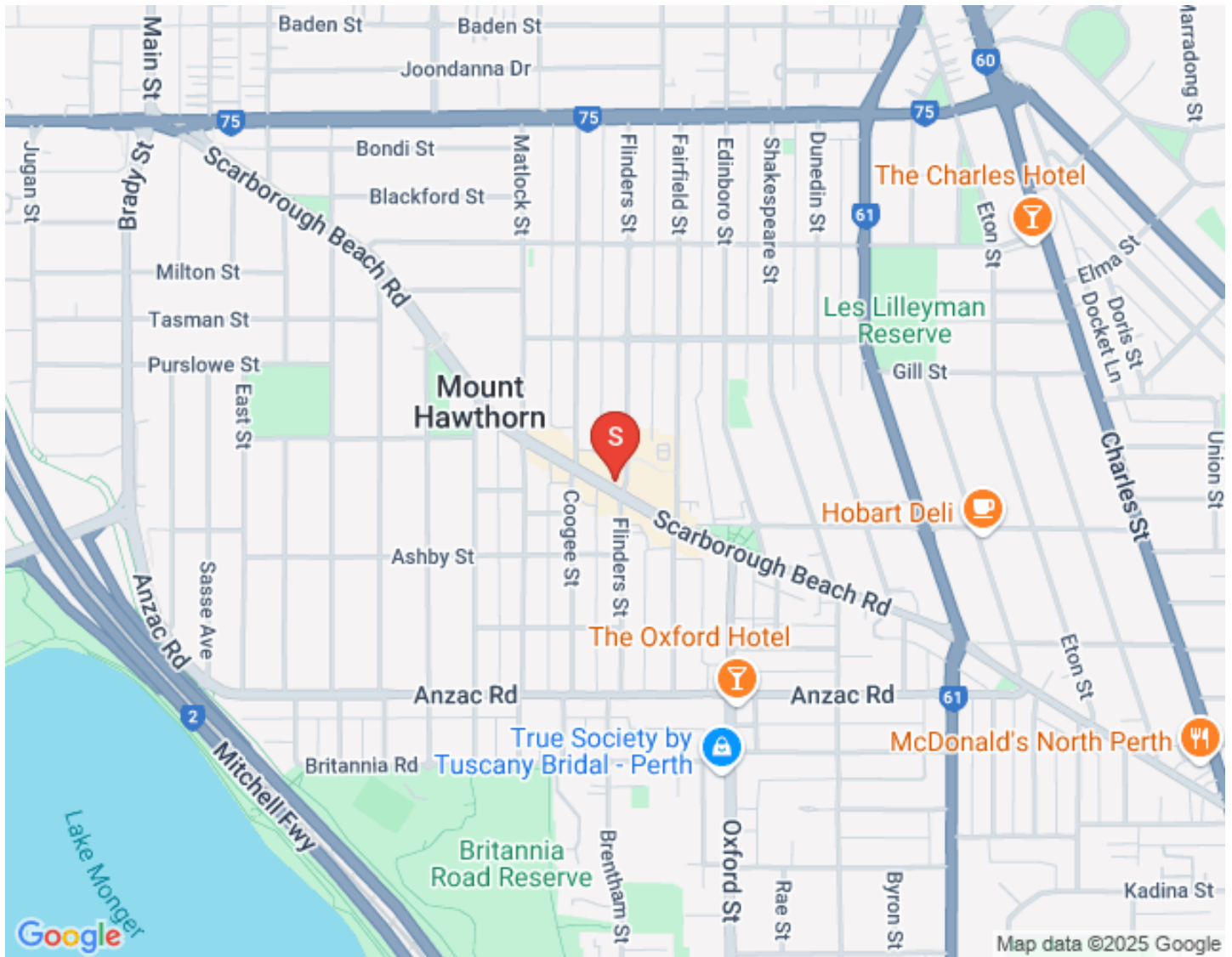
Genesis

**Ronnie Singh**

0430161765

[rsingh@fngenesis.com.au](mailto:rsingh@fngenesis.com.au)

## Team Genesis



**RONNIE SINGH**

SALES CONSULTANT

0430161765

[rsingh@fngenesis.com.au](mailto:rsingh@fngenesis.com.au)



Meet Ronnie Singh, a real estate agent with a passion for helping people achieve their property dreams. With over 8 years of experience in the industry, Ronnie specialises in the southern suburbs, particularly in the sought after areas of Piara Waters, Harrisdale and their surrounds.

Ronnie has a proven track record of successful settlements and countless happy clients who attest to his high level of professionalism and dedication to achieving the best possible outcome. His skilful negotiation and persistence ensure that he consistently achieves the best possible sale price for his clients.

Ronnie is the real estate agent you want to hire for all your property needs. With his knowledge of the local market and commitment to providing exceptional service, you can trust Ronnie to guide you through every step of the buying and selling process. Contact Ronnie today and experience the difference that a skilled and dedicated real estate agent can make.



## **NISTHA JAYANT**

PERSONAL ASSISTANT

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[njayant@fngenesisis.com.au](mailto:njayant@fngenesisis.com.au)

Introducing Nistha, our secret weapon in the Southern Suburbs. With a keen eye for detail and a passion for real estate, Nistha serves as a sales assistant to Ronnie Singh, specializing in the sought-after areas of Piara Waters, Harrisdale, and their surrounds.

Nistha's role spans all stages of the sales process, from prospecting to handing over the keys. Renowned for her dedication, professionalism, and unwavering optimism, she has become a favorite among clients and a vital asset to Ronnie's team. Contact Ronnie today and see how experience, people, and process deliver the best possible results for his clients.



## **JONATHAN CLOVER**

**DIRECTOR / SALES COACH / AUCTIONEER**

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0439 688 075

[jclover@fn genesis.com.au](mailto:jclover@fn genesis.com.au)

Working within his father's real estate agency since the age of 16, Jonathan has done most roles within a real estate office including pushing a mop and broom around, analyzing marketing and property trends, managing client engagement...

"My dad owns a real estate office in Canada, my grandfather started what became the largest agency on Vancouver Island at the time, my uncle runs one of the largest commercial real estate agencies in British Columbia... it's a genetic disorder in our family" Jonathan remarks.

"A lot of people ask me why I am in real estate?" Jonathan says the answer is simple, "Aside from my faith and family there are 3 things that get me up in the morning. I love meeting and helping people, I value our shared community, and I am passionate about property. This is the perfect industry for me!"

The last decade has seen Jonathan progress from a business consultant within the real estate and business broking industry to the WA /NT State Manager of First National Real Estate, Australia's largest group of independent real estate agents. He is now the Director and Sales Coach of his very own First National Real Estate Office.



## **DAMIAN MARTIN**

**PARTNER / SALES CONSULTANT**

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0432 269 444

[dmartin@fn genesis.com.au](mailto:dmartin@fn genesis.com.au)

"When I first heard that Damian attained his Real Estate sales registration, I knew he would be a successful agent!" says Director Jonathan Clover. "As a defensive player of the year 6 times and 4 time Champion in the National Basketball League of Australia, Damian is used to sacrificing for his team and being dedicated to process. Real estate is no different. It's about making sacrifices and putting it all on the line for the client, and being dedicated to a proven process without cutting corners or letting ego get in the way"

Damian says "I joined First National Genesis because their values (People, Community, Property...in that order) align with my own. I also know how beneficial having the right coaches, trainers and support staff are to becoming the best version of yourself!" Damian also notes that partnering with the company director Jonathan Clover will be great to grow his knowledge of real estate and fine tune his negotiation skills.



## **GUY KING**

**SALES CONSULTANT**

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0417900315

[gking@fngenesisis.com.au](mailto:gking@fngenesisis.com.au)

Guy brings more than ten years of real estate knowledge to the Genesis team and a lifetime of business experience. Highly talented, driven and energetic, Guy's deep knowledge of the Eastern Hills, Foothills and Swan Valley markets coupled with his passion to connect with people and his community as a long-term hills resident are just a few reasons why Guy is highly qualified to help you in one of life's more challenging periods; moving!

We are excited that Guy has joined Team Genesis and the wider First National Real Estate family.



## **MARK HUTCHINGS**

**SALES CONSULTANT**

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0416304650

[mhutchings@fngenesisis.com.au](mailto:mhutchings@fngenesisis.com.au)

Mark Hutchings is First National Genesis' first pick in the 2024 draft! After a decade long AFL career, 9 years with our very own West Coast Eagles, Mark has decided to direct the same dedication and hard work to his career in Real Estate. "When we first sat down together, I could tell Mark had a strong business mind, asking good questions and was quick to understand marketing strategies", company Director Jonathan Clover noted. "A reputation of loyalty to his team-mates, commitment to the heavy training regime of being a professional athlete and a very competitive character to get the best outcomes all give me confidence that our clients are in good hands with Mark." Why real estate? Mark's "people first" ethos and keen interest in property have drawn him into the property industry and he has submerged himself gaining a huge amount of knowledge and experience as he works alongside veteran agent and company director, Jonathan Clover.



## **ILENA GECAN**

### **PROPERTY MANAGER**

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0412 175 528

[rentals@fngenesis.com.au](mailto:rentals@fngenesis.com.au)

Ilena found her true calling in the real estate industry in 2019, transitioning from a background in administration, reception, and real estate marketing. Now, as a dedicated Assistant Property Manager at First National Genesis, she thrives in the dynamic world of real estate. She brings a willingness to listen, understand, and work alongside you to achieve your real estate goals. Her strong ties to the local community inspire her commitment to delivering exceptional service. Whether you're a tenant or property owner, Ilena invites you to our Mount Hawthorn office for a friendly chat and valuable insights into the Genesis approach to property management. Outside of the office, Ilena enjoys her time spent in nature, hiking, photography, and the outdoors, moments of tranquillity that rejuvenate the spirit and refresh the body, ready for another week in the fast-paced world of Property Management.



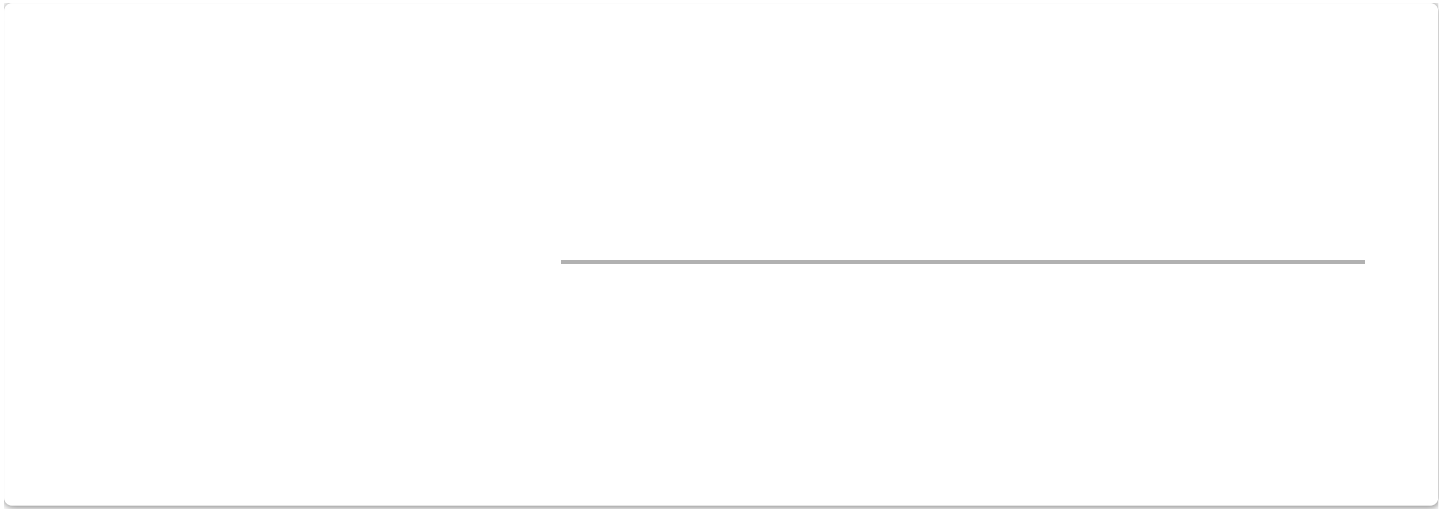
## **KAHLA PURVIS**

### **SALES ADMINISTRATOR/MARKETING OFFICER**

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[admin@fngenesis.com.au](mailto:admin@fngenesis.com.au)

Meet Kahla, residing in Heathridge, her journey in real estate is a true testament to hard work and dedication. She began her career as a receptionist, learning the ins and outs of the industry from the ground up. With a passion for growth and an eye for detail, she quickly rose through the ranks, taking on the role of Marketing Manager where she showcased her creative talents and strengthened the online presence of the business. Her organisational skills and commitment to excellence then led her to become our Sales Administrator, where she continues to provide invaluable support to the team. Kahla's path reflects her unwavering drive and ambition to succeed in every aspect of her career.





## Recent Sales in the Area



### 11 Glenora Way, Harrisdale

4 Bed | 2 Bath | 2 Car

Land size: 375sqm

Under Offer



### 1 Ingot Lane, Harrisdale

4 Bed | 2 Bath | 2 Car

Land size: 446sqm

Under Offer



### 17 Gregson Street, Harrisdale

4 Bed | 2 Bath | 2 Car

Land size: 450sqm

Under Offer



## 155 Gracefield Boulevard, Harrisdale

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4 Bed | 2 Bath | 2 Car

Land size: 438sqm

Under Offer



## 3 Counihan Bend, Harrisdale

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4 Bed | 2 Bath | 2 Car

Land size: 575sqm

Under Offer



## 56 Abercrombie Entrance, Harrisdale

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4 Bed | 2 Bath | 2 Car

Land size: 450sqm

Under Offer





## 7 Gladalan Way, Piara Waters

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4 Bed | 2 Bath | 2 Car

Land size: 510sqm

\$710,000



## 38 Kellogg Drive, Piara Waters

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4 Bed | 2 Bath | 2 Car

Land size: 484sqm

UNDER OFFER



## 11 Southampton Drive, Piara Waters

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4 Bed | 2 Bath | 2 Car

Land size: 556sqm

Under Offer



## 6 Limestone Rise, Piara Waters

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4 Bed | 2 Bath | 2 Car

Land size: 426sqm

Under Offer



## 2 Bayonne Corner, Piara Waters

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4 Bed | 2 Bath | 2 Car

Land size: 596sqm

Under Offer



## 60 Archdale Loop, Piara Waters

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4 Bed | 2 Bath | 2 Car

Land size: 450sqm

Under Offer





## 22 Apatite Street, Treeby

---

3 Bed | 2 Bath | 2 Car

Land size: 250sqm

Under Offer



## 141 Huntingdale Road, Huntingdale

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4 Bed | 2 Bath | 2 Car

Land size: 501sqm

Under Offer



## 40 Firefalls Close, Huntingdale

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4 Bed | 2 Bath | 2 Car

Land size: 584sqm

UNDER OFFER !



## 14 Calamocha Way, Piara Waters

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4 Bed | 2 Bath | 2 Car

Land size: 450sqm

Under Offer



## 12 Hambly Crescent, Canning Vale

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4 Bed | 2 Bath | 2 Car

Land size: 570sqm

End Date Process



## 2 Kelpie Way, Southern River

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4 Bed | 2 Bath | 2 Car

Land size: 342sqm

Under Offer





## 6 Kelpie Way, Southern River

---

3 Bed | 2 Bath | 2 Car

Land size: 300sqm

UNDER OFFER



## 47 Millstream Drive, Southern River

---

4 Bed | 2 Bath | 2 Car

Land size: 510sqm

End Date Process



## 3B Fanshawe Boulevard, Piara Waters

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3 Bed | 2 Bath | 2 Car

Land size: 180sqm

UNDER OFFER



## 16 Hickman Drive, Piara Waters

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4 Bed | 2 Bath | 2 Car

Land size: 418sqm

Under Offer



## 19 Sheldon Street, Piara Waters

---

4 Bed | 2 Bath | 2 Car

Land size: 571sqm

UNDER OFFER



## 21 Sheldon Street, Piara Waters

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4 Bed | 2 Bath | 4 Car

Land size: 628sqm

End Date Process





## 49 Archdale Loop, Piara Waters

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4 Bed | 2 Bath | 2 Car

Land size: 500sqm

Under Offer



## 3 Kitley Way, Piara Waters

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4 Bed | 2 Bath | 2 Car

Land size: 497sqm

Under Offer